

RESOLUTION NO. 5980

**RESOLUTION APPROVING REDEVELOPMENT CONTRACT  
AND CONSTRUCTION DOCUMENTS SUBMITTED BY BENNIE  
OULDS FOR REDEVELOPMENT OF CITY OF TULSA OWNED  
REAL PROPERTY LOCATED AT 2010 NORTH HARTFORD  
AVENUE, TULSA, OKLAHOMA**

**WHEREAS**, the City of Tulsa (“City”) has previously declared as surplus certain City owned real property located at 2010 North Hartford Avenue in the Dirty Butter-Heritage Hills Extension Subdivision to the City of Tulsa, Oklahoma and has requested that the Tulsa Development Authority (TDA) negotiate a Contract For Sale of Land for Private Redevelopment (“Redevelopment Contract”) for the sale and redevelopment of said real property; and,

**WHEREAS**, TDA has successfully negotiated a Contract For Sale of Land for Private Redevelopment (“Redevelopment Contract”) for the sale and redevelopment of said real property described on Exhibit A hereto (the “Property”) to BENNIE OULDS (“Oulds”) which is subject to approval by the Board of Commissioners of the TDA; and,

**WHEREAS**, Oulds, pursuant to said Contract, did at TDA’s July 2nd, 2014 work study session and special board meeting of the TDA Commissioners, presented Construction Documents, Plans and Specifications as required by the Redevelopment Contract and has requested that the TDA Board of Commissioners to approve said Construction Documents, Plans and Specifications pursuant to the terms of the said Redevelopment Contract; and,

**WHEREAS**, the Board of Commissioners of the Tulsa Development Authority has determined that it is in the best interest of it, the City of Tulsa and the general public to approve the Redevelopment Contract and authorize the Chairman of the TDA to execute said Redevelopment Contract on behalf of the TDA; and,

**WHEREAS**, the Board of Commissioners of the Tulsa Development Authority has determined that it is in the best interest of it, the City of Tulsa and the general public to approve the Construction Documents, Plans and Specifications submitted by Redeveloper in the form attached hereto; subject to all terms and conditions set forth in said Contract for Redevelopment.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF  
COMMISSIONERS OF THE TULSA DEVELOPMENT AUTHORITY, that:**


**Section 1.** The Board of Commissioners of the Tulsa Development Authority does hereby approve the said Redevelopment Contract for the sale and redevelopment of the real property located at 2010 North Hartford Avenue, Tulsa, Oklahoma and described on Exhibit A hereto (the “Property”) to BENNIE OULDS (“Oulds”) and authorize the Chairman of the TDA to execute said Redevelopment Contract on behalf of the TDA.

**Section 2.** The Board of Commissioners of the Tulsa Development Authority does hereby approve the Construction Documents, Plans and Specifications as submitted at TDA's July 2nd, 2014 work study session and special board meeting by Oulds to TDA's Board of Commissioners for the redevelopment of the Property pursuant to the terms of the Redevelopment Contract.


**Section 3.** This Resolution shall take effect immediately.

**PASSED and ADOPTED** this 2<sup>nd</sup> day of July, 2014.

**TULSA DEVELOPMENT AUTHORITY**

By:   
Julius Pegues, Chairman

Approved as to legal form and adequacy:

  
Jot Hartley, General Counsel  
The Hartley Law Firm, PLLC

**EXHIBIT A**

**Seller – Tulsa Development Authority**

**Buyer – BENNIE OULDS**

**Dated July 2<sup>nd</sup>, 2014**

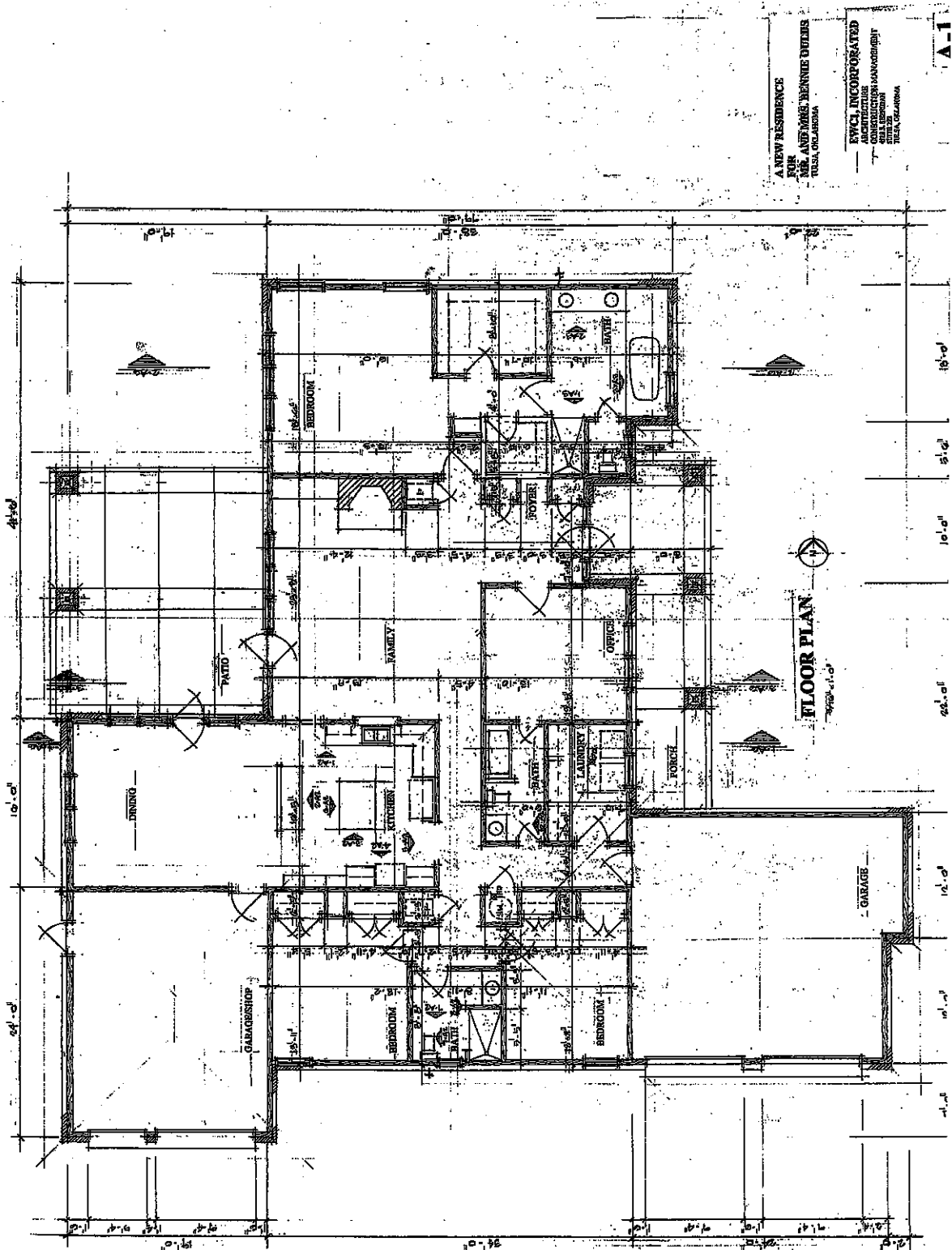
**LEGAL DESCRIPTION**

LOT TWO (2), BLOCK ONE (1), DIRTY BUTTER-HERITAGE HILLS EXTENSION, ACCORDING TO THE RECORDED PLAT NUMBER 6504; A SUBDIVISION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA; said Plat Number 6504 being a Re-Subdivision of Lots 1-4 and 33-36, Block 1, and Lots 1-4 and 39-42, Block 7, and Lots 1-4 and 39-42, Block 8, and Lots 1-3 and a Part of Lot 4, Block 12, MEADOWBROOK ADDITION, an Addition to the City of Tulsa.

Address: 2010 North Hartford Avenue, Tulsa, Oklahoma



12

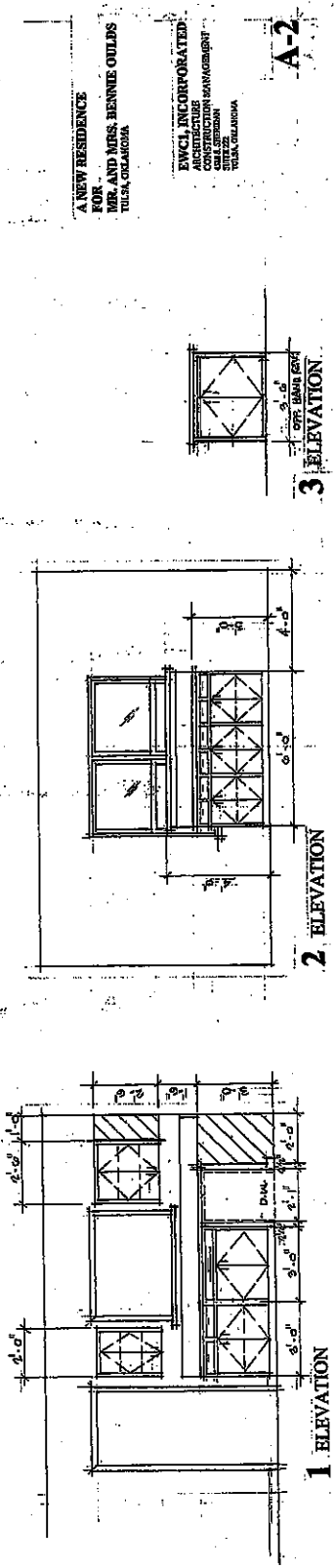
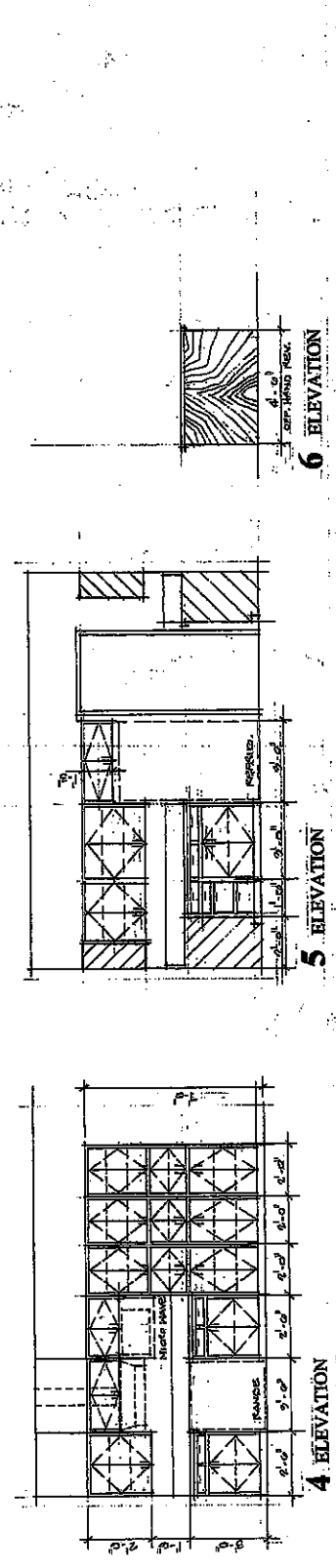
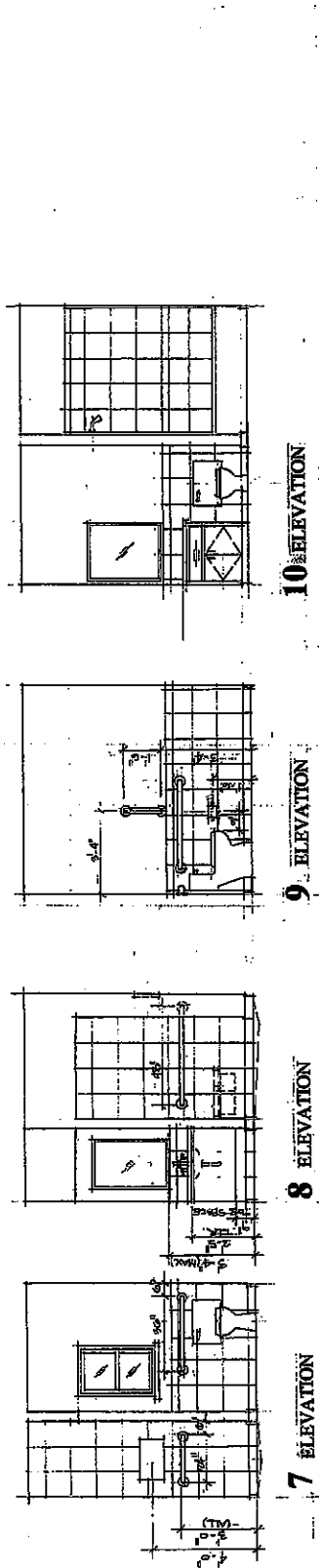


A NEW RESIDENCE  
FOR  
MR. AND MRS. BENNIE DOLLS  
TULSA, OKLAHOMA

RYCH, INCORPORATED  
CONSTRUCTION MANAGEMENT  
1111 S. BOYD  
TULSA, OKLAHOMA

FLOOR PLAN

A-1



A NEW RESIDENCE  
FOR  
MR. AND MRS. BENNIS OULDS  
TULSA, OKLAHOMA

EWING INCORPORATED  
ARCHITECTURE  
CONSTRUCTION MANAGEMENT  
3112 E. 15TH ST.  
TULSA, OKLAHOMA

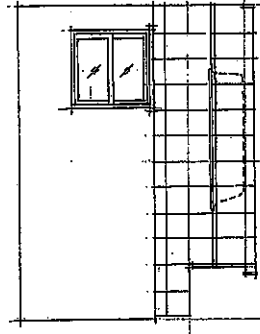
A-2

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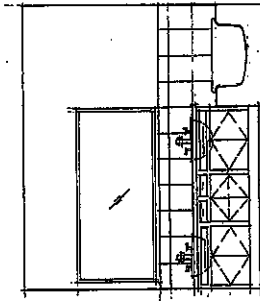
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ROOM FINISH SCHEDULE:

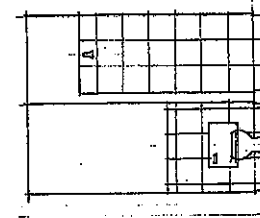
- KITCHEN: PAINT.
- WALLS: STAINED.
- CABINETS: MATCH COUNTER-TOP.
- FLOOR: CERAMIC TILE.
- CEILING: PAINT.
- BATH: CERAMIC TILE.
- FLOOR: CERAMIC TILE.
- CEILING: PAINT.
- OFFICE: PAINT.
- WALLS: CARPET.
- CEILING: PAINT.
- FAMILY ROOM: PAINT.
- WALLS: WOOD LAMINATE/TILE.
- FLOOR: CLEAR SEALER.
- CEILING: PAINT.
- WOOD LAMINATE/TILE.
- CEILING: PAINT.
- BEDROOM: PAINT.
- WALLS: CERAMIC TILE.
- FLOOR: PAINT.
- BATHROOM: PAINT.
- WALLS: CERAMIC TILE.
- FLOOR: PAINT.
- SOUTHEAST BEDROOM: PAINT.
- WALLS: WOOD LAMINATE.
- FLOOR: PAINT.
- CEILING: PAINT.
- SOUTHEAST BEDROOM: PAINT.
- WALLS: WOOD LAMINATE.
- FLOOR: PAINT.
- CEILING: PAINT.
- SOUTH WEST BEDROOM: PAINT.
- WALLS: CARPET.
- FLOOR: PAINT.
- CEILING: PAINT.
- WALK-IN CLOSET: PAINT.
- WALLS: CERAMIC TILE.
- FLOOR: PAINT.
- CEILING: PAINT.
- CLASSET: PAINT.
- WALLS: CERAMIC TILE.
- FLOOR: PAINT.
- CEILING: PAINT.
- WALK-IN CLOSET: PAINT.
- WALLS: CERAMIC TILE.
- FLOOR: PAINT.
- CEILING: PAINT.
- SOUTHEAST GARAGE: PAINT.
- WALLS: CONCRETE.
- FLOOR: PAINT.
- CEILING: PAINT.
- GARAGE: PAINT.
- WALLS: CONCRETE.
- FLOOR: PAINT.
- CEILING: PAINT.



3 ELEVATION



2 ELEVATION



1 ELEVATION

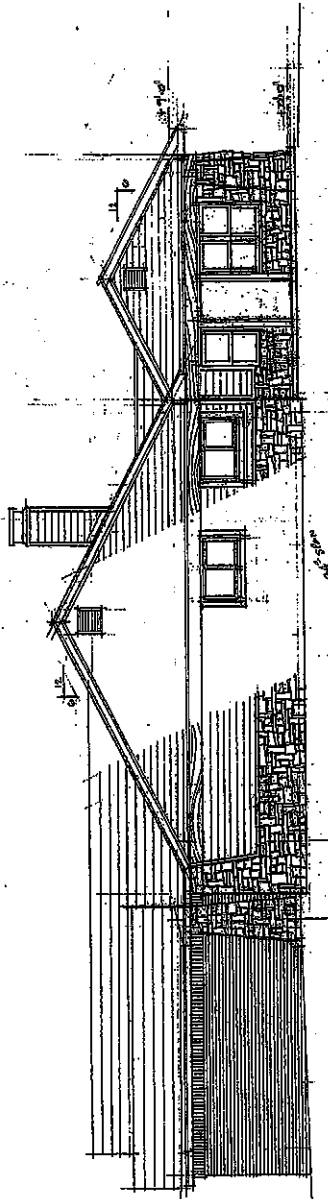
A NEW RESIDENCE  
FOR  
MR. AND MRS. BERNIE OULDS  
TULSA, OKLAHOMA

FWCL, INCORPORATED  
ARCHITECTURAL  
CONSULTANT  
TULSA, OKLAHOMA

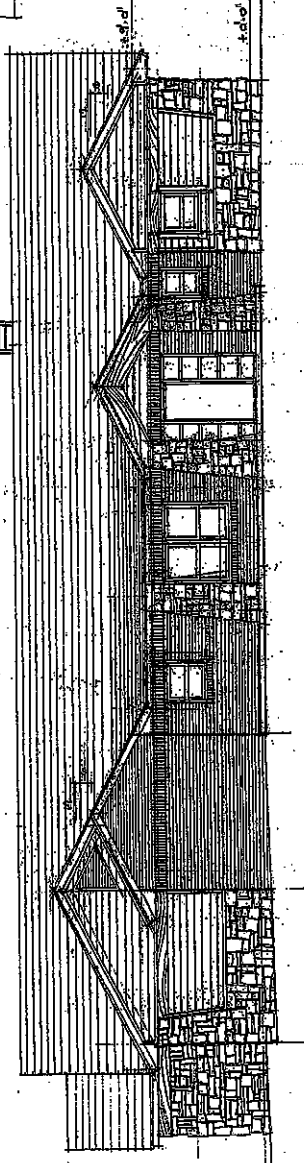
A-3

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(9)



**NORTH ELEVATION**



**EAST ELEVATION**

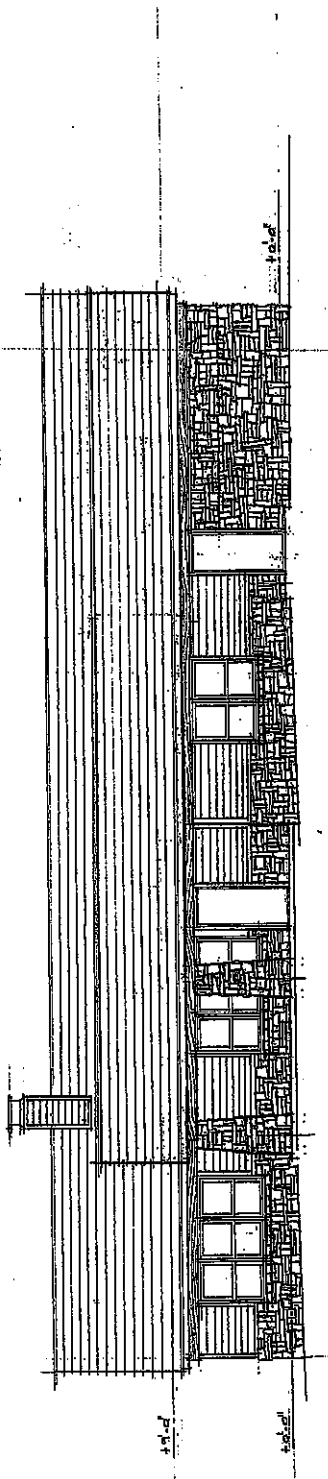
A NEW RESIDENCE  
FOR  
MR. AND MRS. BENNIE OULDS  
TULSA, OKLAHOMA

EWCL INCORPORATED  
ARCHITECTURE  
CONSTRUCTION MANAGEMENT  
1015 S. MAIN  
TULSA, OKLAHOMA

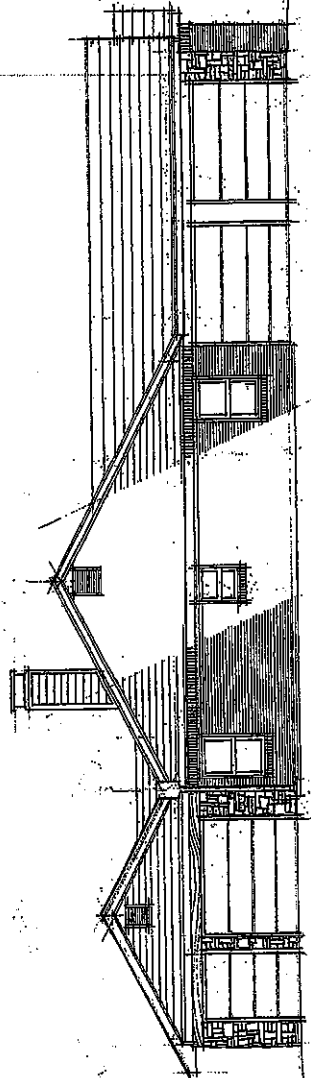
**A-4**

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12



WEST ELEVATION



SOUTH ELEVATION

A NEW RESIDENCE  
FOR AND MISS BENNIE OULDS  
TULSA, OKLAHOMA

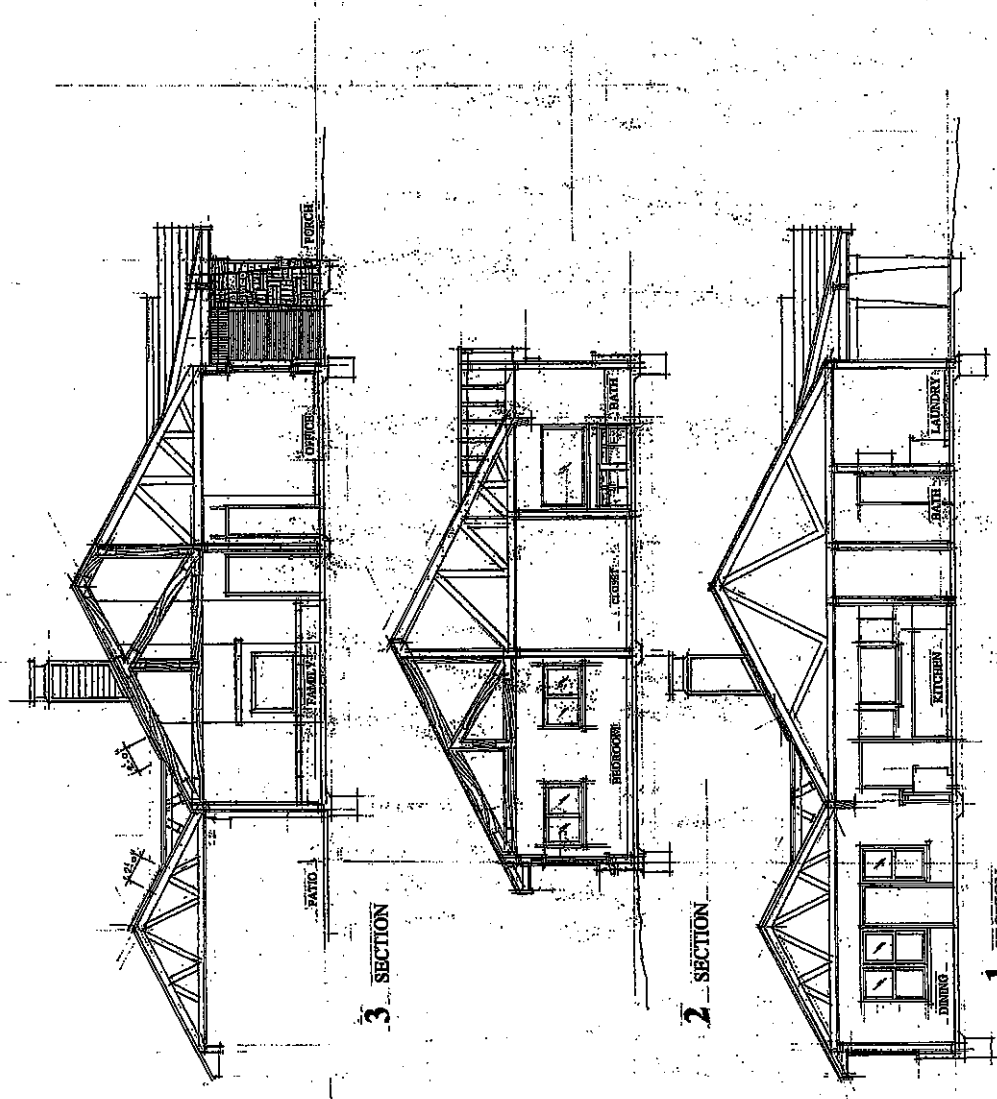
EWCI, INCORPORATED  
CONSTRUCTION MANAGEMENT  
ONE S. STIMSON  
TULSA, OKLAHOMA

A-5

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3 SECTION

2 SECTION

1 SECTION

A NEW RESIDENCE  
FOR  
MR. AND MRS. BENNIE OULDS  
TULSA, OKLAHOMA

KWIC, INCORPORATED  
ARCHITECTURE  
CONSTRUCTION MANAGEMENT  
2015 N. WILSON  
TULSA, OKLAHOMA

A-6

**FOUNDATION AND SLAB NOTES:**

1. 4" CONCRETE SLAB WITH #4 BARS AT 24" O.C. BACK WAY OVER 18" MIN. THICK. REINFORCING BARS TO BE LAPPED AND WELDED TOGETHER AT ALL JOINTS. CONCRETE TO BE COMPACTED BY HAND.
2. CONCRETE TO HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI AT END OF 28 DAYS.
3. CUT SLAB CONTROL JOINTS AT 12'-0" O.C. MAXIMUM. CONTROL JOINTS TO BE REINFORCED WITH #4 BARS.
4. BRICKWORKING TIE, TO MEET ASTM SPECIFICATION A-95, LATEST EDITION. BRICKWORKING TIE TO BE 1/2" DIA. AND 12" LONG TO BE GR 40.

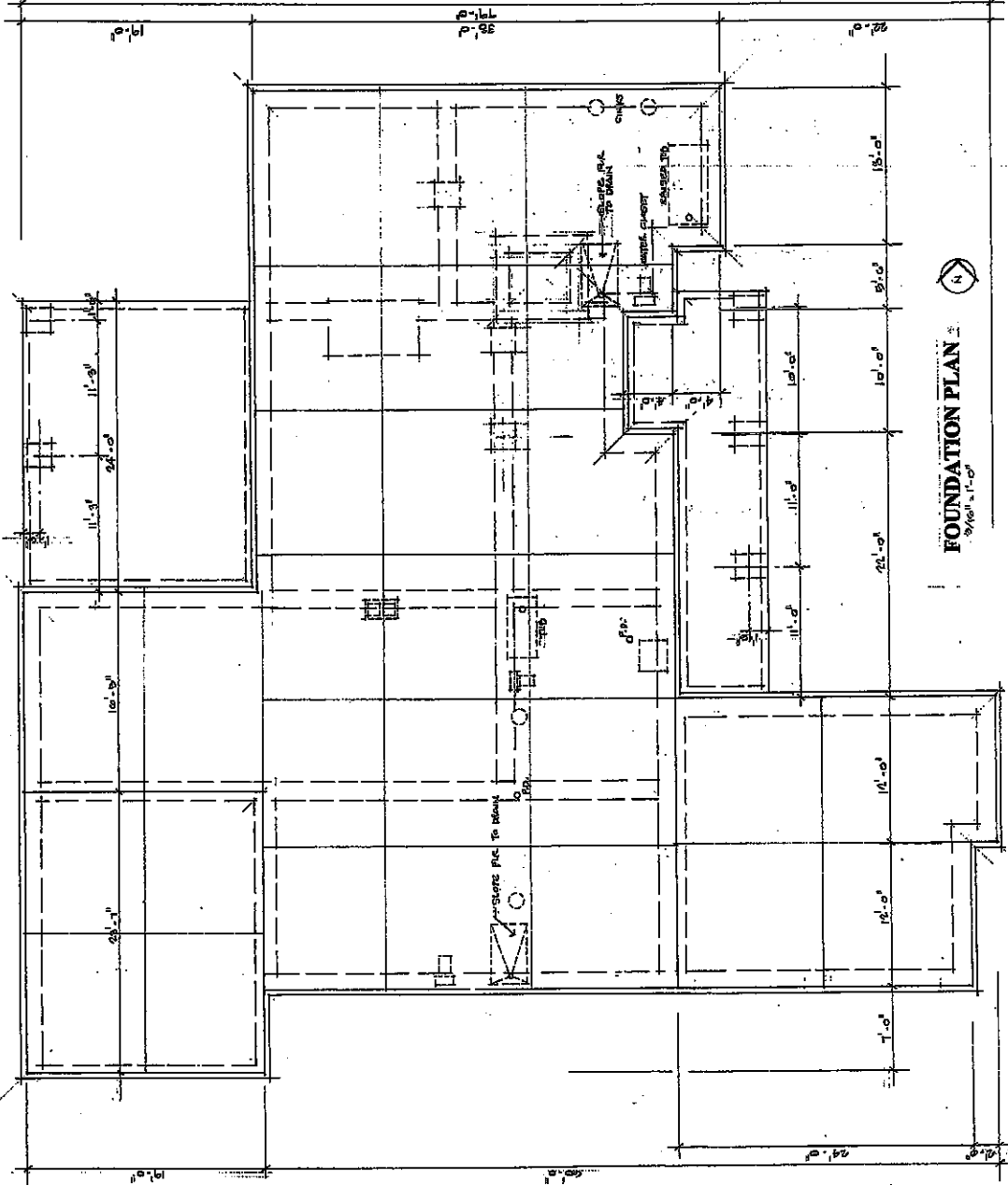
**BRICK LINTEL SCHEDULE:**

- WIDTH OF OPENING 6'-4" TO 6'-6"
- ANGLE SIZE LA 1 X 4 1/2 LY
- WIDTH OF OPENING 6'-7" TO 6'-8"
- ANGLE SIZE LA 1 X 4 1/2 LY
- WIDTH OF OPENING 6'-9" TO 6'-10"
- ANGLE SIZE LA 1 X 4 1/2 LY
- WIDTH OF OPENING 6'-11" TO 6'-12"
- ANGLE SIZE LA 1 X 4 1/2 LY
- ANGLES TO EXTEND A MIN. 8" INTO SUPPORTING MASONRY ON EACH SIDE OF OPENING.

A NEW RESIDENCE  
 FOR  
 MR. AND MRS. BENNIE OULDS  
 TULSA, OKLAHOMA

EWCL, INCORPORATED  
 ARCHITECTS  
 CONSULTING ENGINEERS  
 GENERAL MANAGERS  
 TULSA, OKLAHOMA

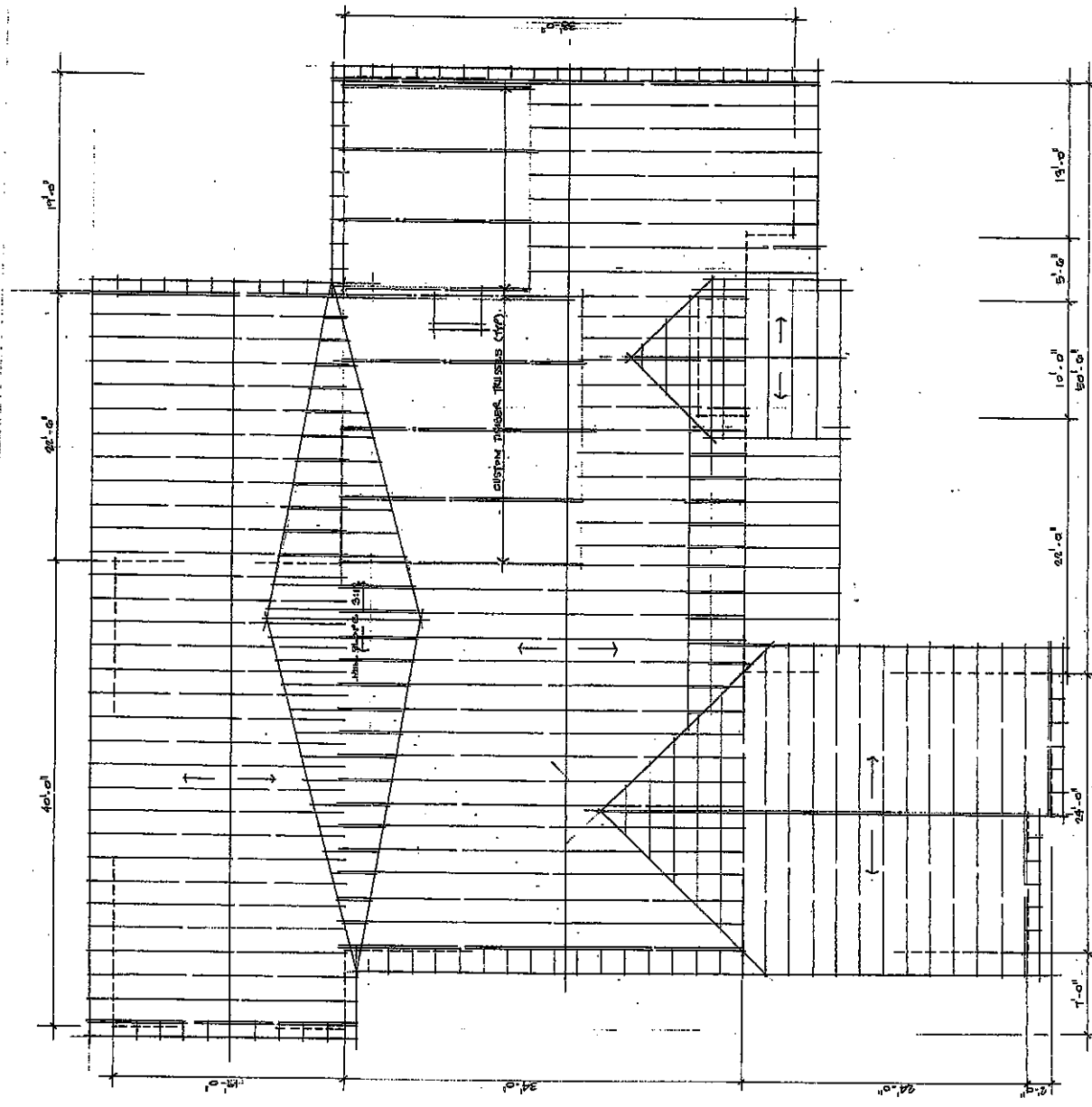
A-7



FOUNDATION PLAN  
 1/4" = 1'-0"

8

8



**ROOF FRAMING NOTES:**

1. ROOF RAFTERS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED RAFTERS. TRUSS GIRTS RAFTERS MUST BE PROVIDED.
2. ROOF DECK TO BE 5/8" EXTERIOR GRADE PLANK WOOD JOIST TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. SPACE RAFTERS TO BE 2 X 12 AT 24" O.C. ALONG INTER-C. APPLIES BRICES AND 1" O.C. ALONG INTER-C.
3. OVERBUILD OVER ROOF DECK WITH 2" WOOD FRAMING.
4. RAFTERS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. RAFTERS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. RAFTERS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED.
5. TRUSS MEMBERS ARE TO REMAIN UNCHANGED IN THIS PLAN. TRUSS MEMBERS ARE TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. TRUSS MEMBERS ARE TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED.
6. PROVIDE MULTIPLE STUDS AT BEARING POINTS FOR MULTIPLE MEMBER JOISTS OR BEAMS. IS. TRUSS STUDS AT DOUBLE OR TRIPLE STUDS TO MATCH TO THE JOIST. MULTIPLE STUDS TO MATCH TO THE JOIST.
7. DO NOT NOTCH OR NOTCH JOISTS. RAFTERS OR BEAMS. OBTAIN ARCHITECT'S APPROVAL FOR ANY RAFTERS OR NOTCHES TO BE BORED.
8. PROVIDE STEEL CORRECTIONS (BRUSION OR APPROVED EQUIV.) AS REQUIRED. BASED ON MEMBER SIZES AND DESIGN LOADS.
9. PROVIDE MULTIPLE STUDS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. PROVIDE MULTIPLE STUDS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED.
10. PROVIDE MULTIPLE STUDS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. PROVIDE MULTIPLE STUDS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED.
11. PROVIDE MULTIPLE STUDS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED. PROVIDE MULTIPLE STUDS TO BE 2 X 12 AT 24" O.C. UNDIMENSIONED.
12. ROOF SPACING FROM EDGE UPWARD TO BE 1-1/2 BOLT DIAMETERS.
13. CONTRIBUTE TO CENTRAL SPACING OF BOLTS TO BE 1-1/2 BOLT DIAMETERS.

**TRUSS DESIGN LOADS (PSF)**

|              |                     |
|--------------|---------------------|
| DEAD LOADS:  | 0                   |
| TOP CHORD:   | 10                  |
| BOB CHORD:   | 10                  |
| LEVEL LOAD:  | 20                  |
| GROUND SNOW: | 10                  |
| WIND LOAD:   | 80 MPH WIND, EXC. C |

**ROOF FRAMING PLAN**

9/10/18 11:00

A NEW RESIDENCE  
FOR  
MR. AND MRS. BEANIE OULDS  
TULSA, OKLAHOMA

EWCL, INCORPORATED  
ARCHITECTS  
CONSTRUCTION MANAGEMENT  
ONE EIGHTY SEVEN  
THIRD AVENUE  
TULSA, OKLAHOMA

A-0

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11