

RESOLUTION NO. 5981

**RESOLUTION APPROVING REDEVELOPMENT CONTRACT AND
CONSTRUCTION DOCUMENTS SUBMITTED BY LARRY E.
CRAWFORD, JR. FOR REDEVELOPMENT OF CITY OF TULSA
OWNED REAL PROPERTY LOCATED AT 1890 NORTH HARTFORD
AVENUE, TULSA, OKLAHOMA**

WHEREAS, the City of Tulsa ("City") has previously declared as surplus certain City owned real property located at 1890 North Hartford Avenue in the Dirty Butter-Heritage Hills Extension Subdivision to the City of Tulsa, Oklahoma and has requested that the Tulsa Development Authority (TDA) negotiate a Contract For Sale of Land for Private Redevelopment ("Redevelopment Contract") for the sale and redevelopment of said real property; and,

WHEREAS, TDA has successfully negotiated a Contract For Sale of Land for Private Redevelopment ("Redevelopment Contract") for the sale and redevelopment of said real property described on Exhibit A hereto (the "Property") to LARRY E. CRAWFORD, JR. ("Crawford") which is subject to approval by the Board of Commissioners of the TDA; and,

WHEREAS, Crawford, pursuant to said Contract, did at TDA's July 2nd, 2014 work study session and special board meeting of the TDA Commissioners, presented Construction Documents, Plans and Specifications as required by the Redevelopment Contract and has requested that the TDA Board of Commissioners to approve said Construction Documents, Plans and Specifications pursuant to the terms of the said Redevelopment Contract; and,

WHEREAS, the Board of Commissioners of the Tulsa Development Authority has determined that it is in the best interest of it, the City of Tulsa and the general public to approve the Redevelopment Contract and authorize the Chairman of the TDA to execute said Redevelopment Contract on behalf of the TDA; and,

WHEREAS, the Board of Commissioners of the Tulsa Development Authority has determined that it is in the best interest of it, the City of Tulsa and the general public to approve the Construction Documents, Plans and Specifications submitted by Crawford in the form attached hereto; subject to all terms and conditions set forth in said Redevelopment Contract.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE TULSA DEVELOPMENT AUTHORITY, that:

Section 1. The Board of Commissioners of the Tulsa Development Authority does hereby approve the said Redevelopment Contract for the sale and redevelopment of the real property located at 1890 North Hartford Avenue, Tulsa, Oklahoma and described on Exhibit A hereto (the "Property") to Larry E. Crawford, Jr. ("Crawford") and authorize the Chairman of the TDA to execute said Redevelopment Contract on behalf of the TDA.

Section 2. The Board of Commissioners of the Tulsa Development Authority does hereby approve the Construction Documents, Plans and Specifications as submitted at TDA's July 2nd, 2014 work study session and special board meeting by Crawford to TDA's Board of Commissioners for the redevelopment of the Property pursuant to the terms of the Redevelopment Contract.

Section 3. This Resolution shall take effect immediately.

PASSED and ADOPTED this 2nd day of July, 2014.

TULSA DEVELOPMENT AUTHORITY

By: 

Julius Pegues, Chairman

Approved as to legal form and adequacy:


Jot Hartley, General Counsel
The Hartley Law Firm, PLLC

EXHIBIT A

Seller – Tulsa Development Authority

Buyer – LARRY E. CRAWFORD, JR.

Dated July 2nd, 2014

LEGAL DESCRIPTION

LOT ONE (1), BLOCK THREE (3), DIRTY BUTTER-HERITAGE HILLS EXTENSION, ACCORDING TO THE RECORDED PLAT NUMBER 6504; A SUBDIVISION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA; said Plat Number 6504 being a Re-Subdivision of Lots 1-4 and 33-36, Block 1, and Lots 1-4 and 39-42, Block 7, and Lots 1-4 and 39-42, Block 8, and Lots 1-3 and a Part of Lot 4, Block 12, MEADOWBROOK ADDITION, an Addition to the City of Tulsa.

Address: 1890 North Hartford Avenue, Tulsa, Oklahoma

CRAWFORD RESIDENCE

SQUARE FOOTAGE

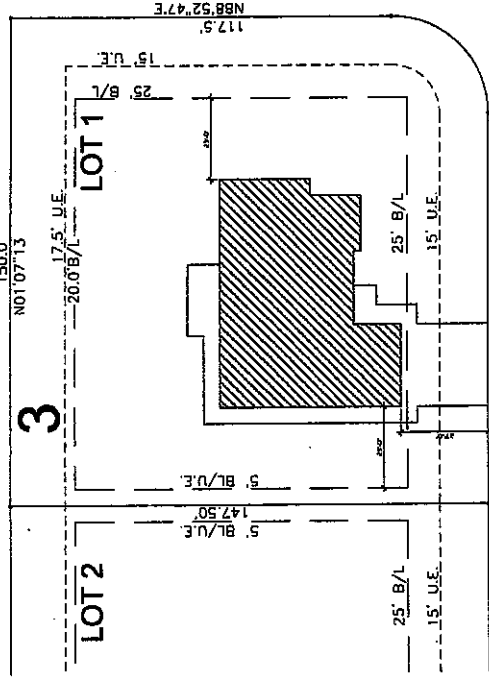
VENUES.SQ. FT. - 2804 SQ.

GENERAL NOTES

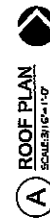
THESE DRAWINGS WERE PREPARED FOR THE PRIVATE RESIDENCE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT IN ACCORDANCE WITH THE VA PARALLEL 26-13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL, MECHANICAL, PLUMBING, OR STRUCTURAL METHODS OR SYSTEMS EMPLOYED ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. ANY ERRORS IN DIMENSION OR DETAIL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE RESIDENCE FROM THE INSIDE FACE OF WALL.

1. INTERIOR WALL DIMENSION TAKEN FROM INSIDE FACE OF WALL.
2. INTERIOR WALL BASED ON 3/4" WOOD STUDS.
3. PROVIDE GFI OUTLET NEAR ACCESSIBLE TOILET.
4. ALL NEW CIRCUITS TO BE 15-20 AMP 2-POLY. THROUGHTOUT TO BE 3" TO 3" 1/2" A.T.F.
5. MARK WINDOW SILL TO BE 2" UP ON WINDOW AND MUST BE SEPARABLE FROM A SEAMED POSITION.
6. BATHROOM DOORS ARE TO SWING OUT AND SHOULD HAVE 1/2" ANCHORS TO THE SIDES OF THE THRESHOLD OR BOTH SIDES OF THE DOOR.
7. HANDRAILS AND BALUSTERS SHOULD BE SINGLE LONGitudinal.
8. ALL VANITY MIRROR IS 24" MIN. HIE. SPACE IS 2" HIGH BY 24" WIDE.
9. THERMOSTATIC LEVER HANDED CONTROLS SHOWN ON ALL THERMOSTATS.
10. BOLLARD SHOWERS ARE CURB FREE, WITH THE FLOOR SLOPING TOWARD A 2" DRAIN AT A MIN. RATE OF 1/4" AND MUST INCLUDE 3 GRID BASE.
11. ROOFING SHOULD NOT BE INSTALLED UNTIL FOUNDATIONS ARE COMPLETE AND APPROVED BY THE VA AND MUST BE SNIP RESISTANT.
12. ALL THRESHOLDS TO BE LESS THAN 1/2".
13. INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
14. ASSUME ALL ELEVATIONS ARE AT GRADE UNLESS OTHERWISE NOTED.

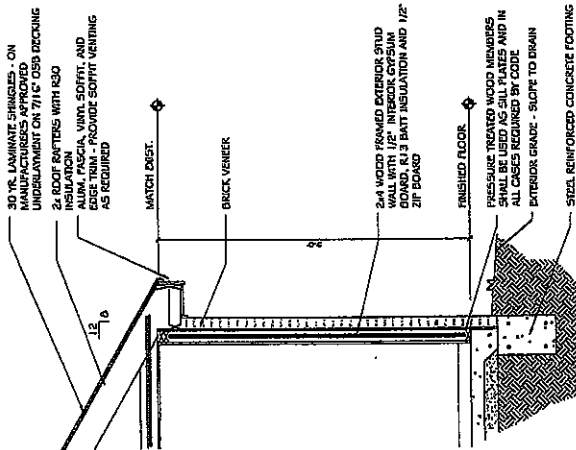
E T F C H E S E S H S I N



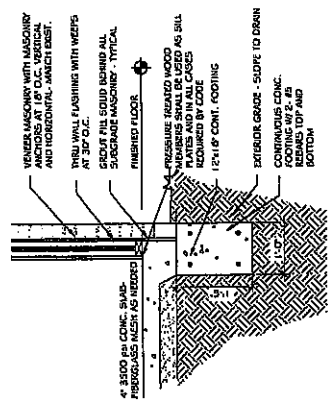
N. HARTFORD AVE. E.



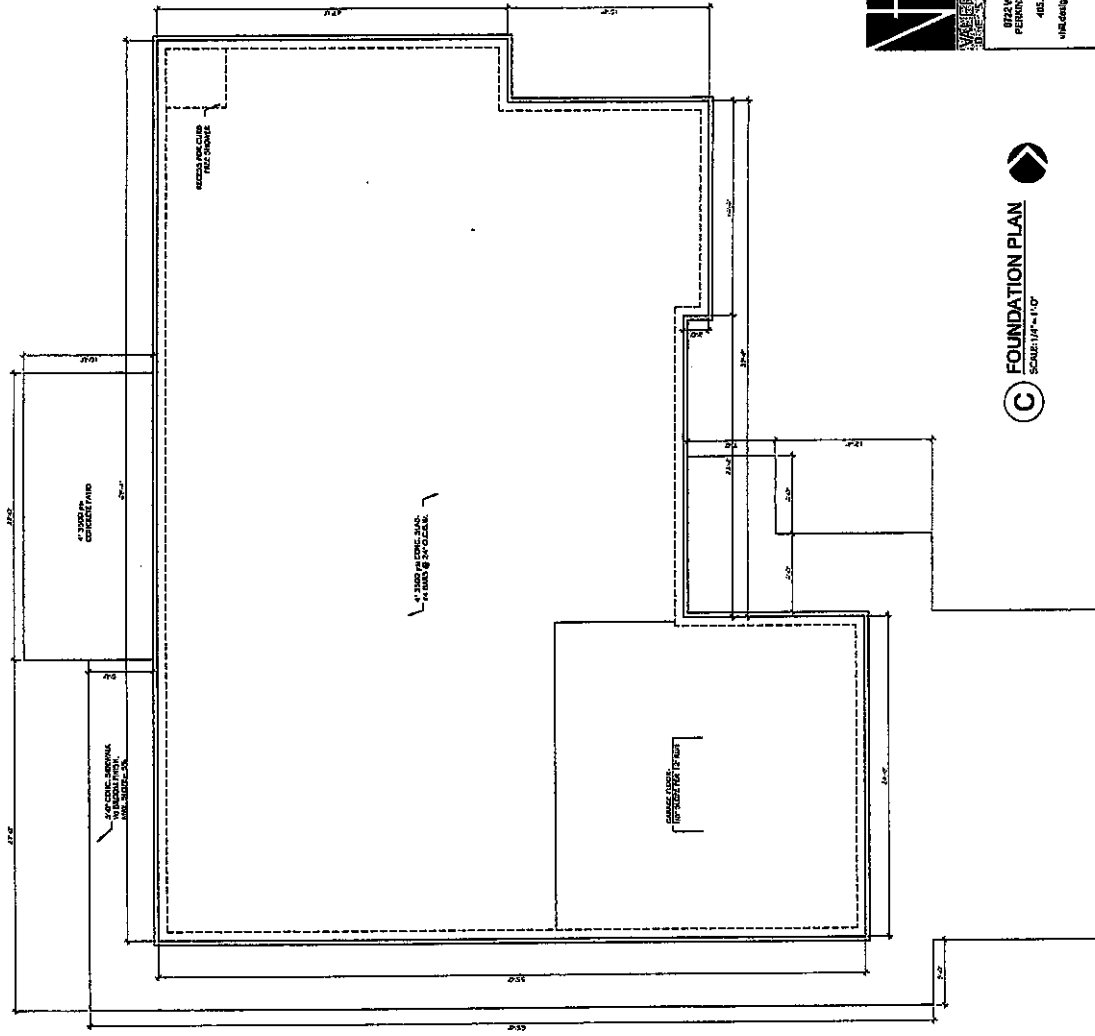
Crawford Residence	
1890 N. Hartford Ave. E. Tuck, VA	
Project Number: 210	Date: 01/11/20
Client: [REDACTED]	Architect: [REDACTED]
8223 W. 13th St. Petersburg, VA 23103 402.408.8195 www.jrhq.com	
C100	



A SECTION
SCALE: 3/4" = 1'-0"

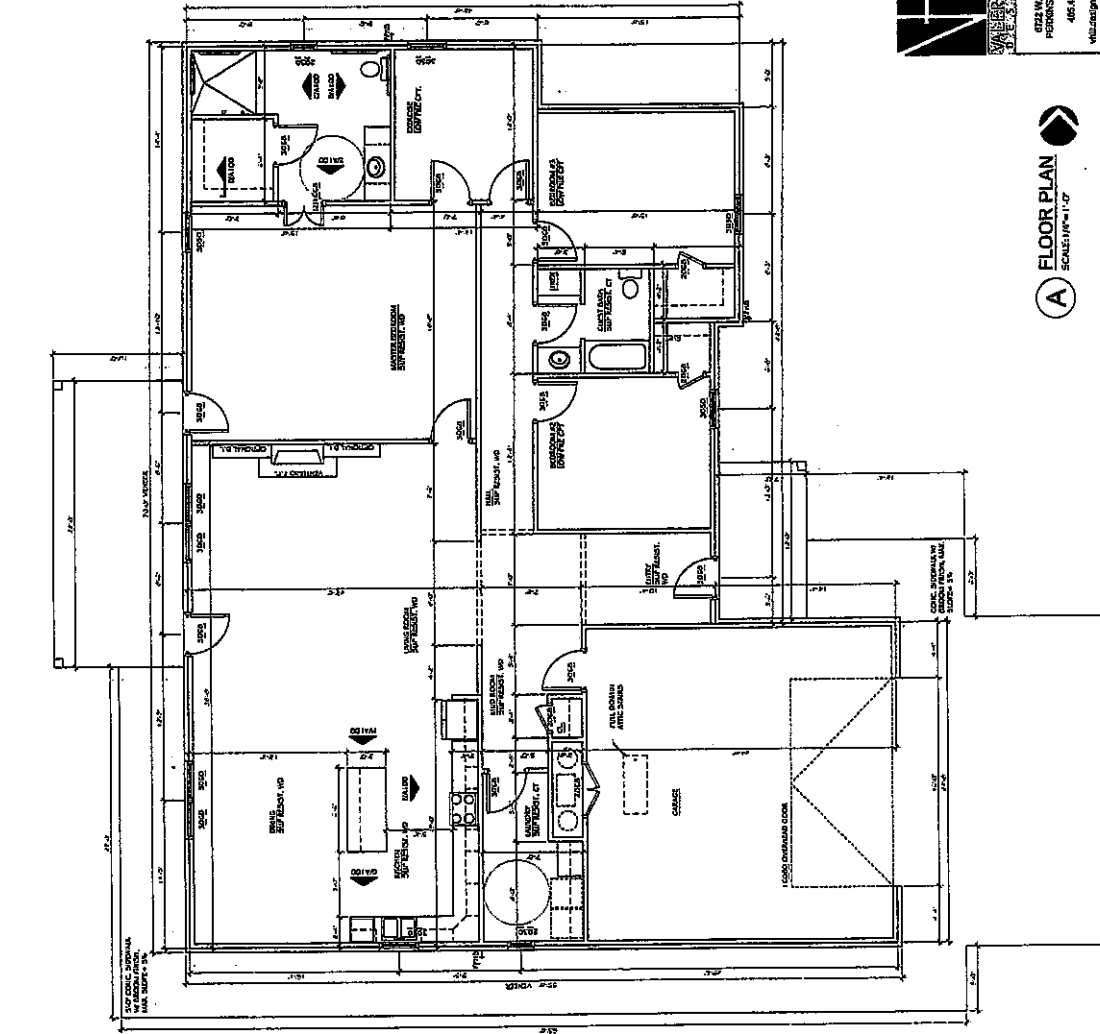


B DETAIL
SCALE: 1" = 1'-0"



C FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

	Crawford Residence 1850 N. Hancock Ave. E Tulsa, OK
	PROJECT NUMBER: 1003 DATE: 08/11/15 DRAWN BY: JLD CHECKED BY: JLD APPROVED BY:
	8722 W. LEVIN DR. PERRIS, OK 74659 405.682.8183 info@design@gmail.com
C101	

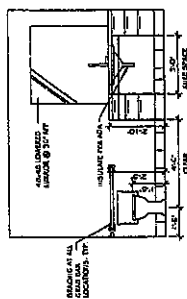


Crawford Residence
 1800 N. Harvard Ave. E
 Tulsa, OK

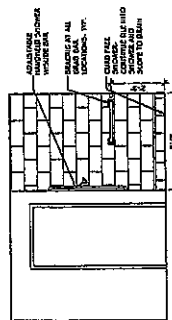
622 W. 120th St.
 POKRIS, OK 74109
 405-683-9183
 www.crawfordresidence.com

A100

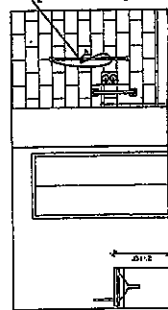
(A) FLOOR PLAN
 SCALE: 1/8" = 1'-0"



(B) ELEVATION
 SCALE: 3/8" = 1'-0"

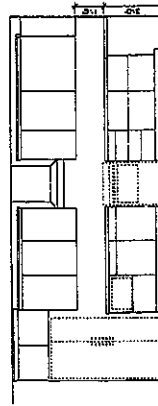


(C) ELEVATION
 SCALE: 3/8" = 1'-0"

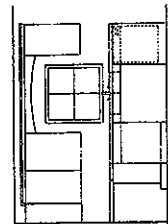


(D) ELEVATION
 SCALE: 3/8" = 1'-0"

(E) ELEVATION
 SCALE: 3/8" = 1'-0"



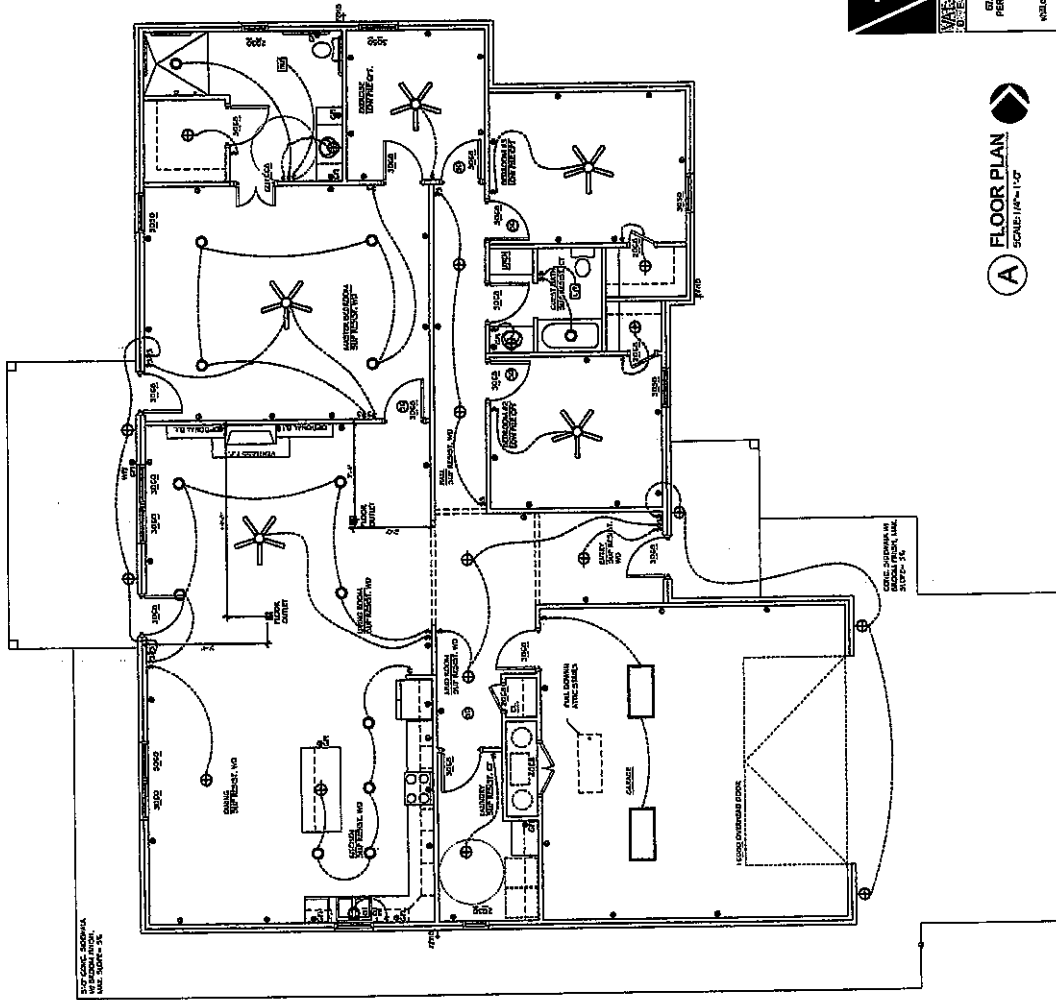
(F) ELEVATION
 SCALE: 3/8" = 1'-0"



(G) ELEVATION
 SCALE: 3/8" = 1'-0"

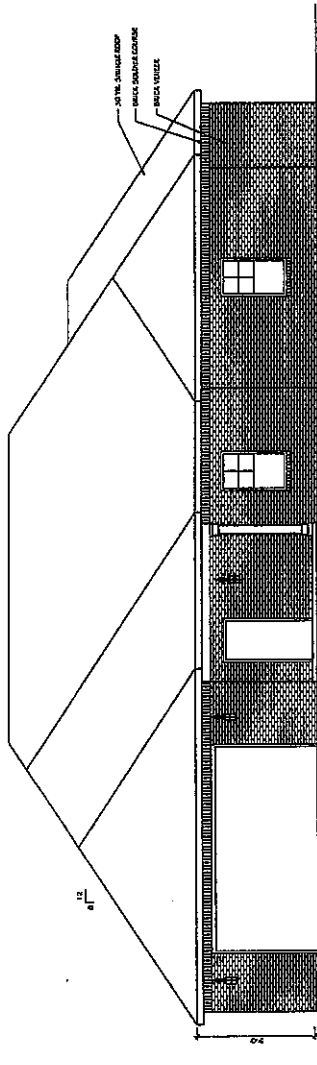


(H) ELEVATION
 SCALE: 3/8" = 1'-0"

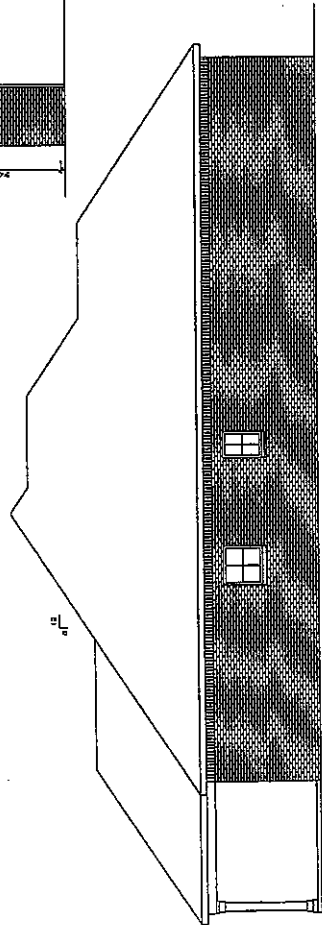


	Crawford Residence 1825 N. Industrial Ave. E. Tulsa, OK	Project Number: 1503 Date: 01/14
	6224 N. 128th St. Peabody, OK 74609 405.468.8885 valere@valeriansa.com	A101

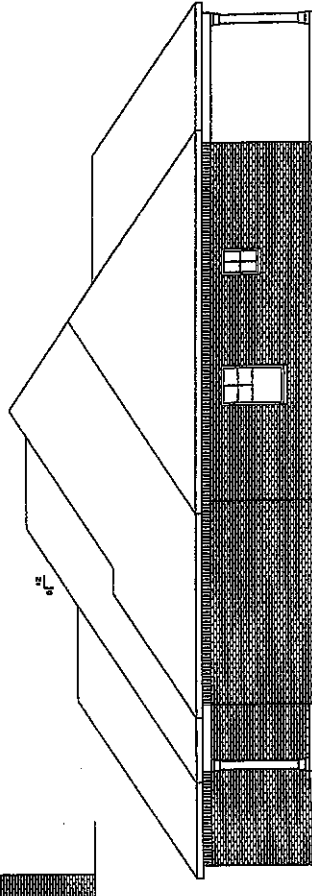
A FLOOR PLAN
 SCALE: 1/8" = 1'-0"



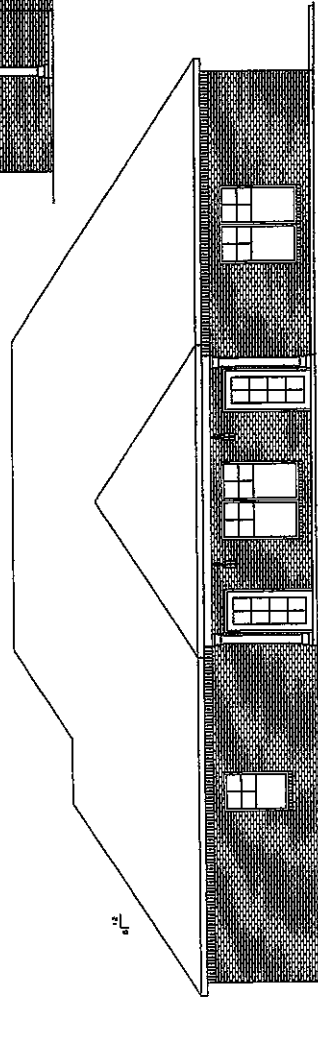
(A) EAST ELEVATION
SCALE: 1/8" = 1'-0"



(B) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



(C) NORTH ELEVATION
SCALE: 1/8" = 1'-0"



(D) WEST ELEVATION
SCALE: 1/8" = 1'-0"

	Crawford Residences 1800 N. Woodland Ave. E. Tulsa, OK	PROJECT NO. 1304 DATE 02/11/15 DRAWING NO. 0210A	SHEET NO. A200 TOTAL SHEETS 1
	6022 N. 130th St. Peoria, IL 61659 616.689.8185 wtdesign@gmail.com	PROJECT NAME DATE DRAWING NO. SHEET NO. TOTAL SHEETS	PROJECT NO. DATE DRAWING NO. SHEET NO. TOTAL SHEETS